



**8 Ghyllside**  
Dent, Sedbergh, Cumbria, LA10 5QD

**Cobble Country**  
*Dales & lakes*  
Town & Country Property Agents Est. 1992



# 8 Ghyllside

## Dent, Sedbergh, Cumbria, LA10 5QD

A great opportunity to buy a superbly presented two bedroom cottage with excellent views in the hugely sought after village of Dent in Cumbria.

Dent offers all the amenities one would expect from a small rural village to include general store, two pubs, church and a great village school. This is a thriving village with excellent community spirit and support.

Internally this property is a delight to view, all the rooms are maximised to their full potential. There is a lounge with feature fire place, a kitchen dining room with wall and base units, a fitted oven and hob and stainless steel sink with drainer. There is access from the kitchen to the rear garden.

The two bedrooms are on the first floor, along with the bathroom comprising W.C, hand basin and bath with shower over.

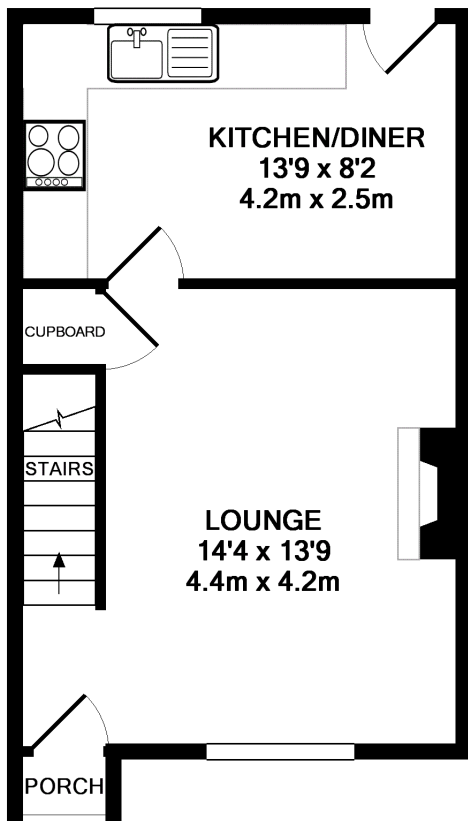
Externally the rear garden has an open aspect with lovely views to the fields and fells beyond. With a South facing garden, this is a real suntrap and of considerable benefit to this property.

There is a parking area to the front with space for visitors and small communal garden areas. A viewing of this property is strongly recommended to appreciate the location and space within this home.

This property has a local occupancy restriction on it.

**Guide Price £149,999**



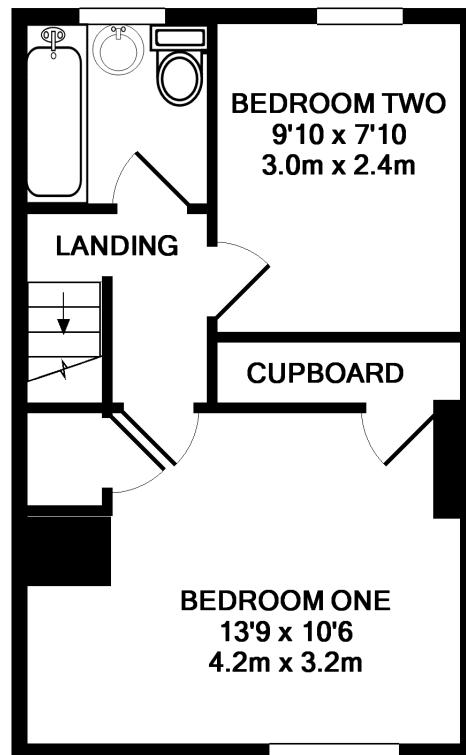


GROUND FLOOR  
APPROX. FLOOR  
AREA 29.3 SQ.M.  
(316 SQ.FT.)

TOTAL APPROX. FLOOR AREA 57.3 SQ.M. (617 SQ.FT.)

Whilst every attempt has been made to ensure the accuracy of the floor plan contained here, measurements of doors, windows, rooms and any other items are approximate and no responsibility is taken for any error, omission, or mis-statement. This plan is for illustrative purposes only and should be used as such by any prospective purchaser. The services, systems and appliances shown have not been tested and no guarantee as to their operability or efficiency can be given

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1ST FLOOR  
APPROX. FLOOR  
AREA 28.0 SQ.M.  
(301 SQ.FT.)

## SERVICES

Mains water, mains electric central heating and mains drainage.

## TENURE

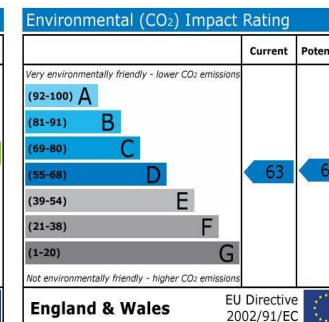
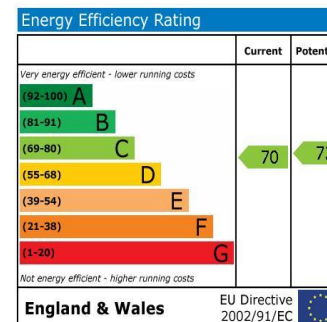
We are advised by the vender that the property is Freehold.

## COUNCIL TAX BAND

We are advised that the property is currently in Band B.

## DIRECTIONS

From Sedbergh, take the road to Dent. Upon entering the cobbled area take the right turning at the George and Dragon pub. Carry on until the cobbled street ends and go up the slight hill. Take the small right turn, following the National Park wooden sign post for "Flintergill". The property can be found directly in front of you, towards the right side of the terrace. Cobbled parking areas are clearly marked to the front.



Cobble Country wish to advise prospective purchasers that we have not checked the services or appliances. The sales particulars have been prepared as a guide only; any floor-plan or map is for illustrative purposes only. Cobble Country, for themselves and for the vendors or lessors of this property whose agents they are give notice that: the particulars have been produced in good faith; do not constitute any part of a contract; no person in the employment of Cobble Country has any authority to make or give any representation of warranty in relation to this property.

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**VIEWINGS:** Viewings are strictly by arrangement with the sole agent:

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